



SAPPHIRE

ROUSE HILL



LUXURIOUS HOMES

DESIGN GUIDELINES



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PART 1 - THE ENDORSEMENT PROCESS

1.1 THE PURPOSE

These Design Guidelines are intended to outline the vision for a better quality, more livable environment at Sapphire Rouse Hill. Applying to all residential dwellings, the Design Guidelines set out the requirements to create the highest calibre community in North West Sydney. By applying these guidelines, we will establish the design direction to satisfy future residents' needs, create attractive streetscapes and achieve a premium living experience.

1.2 THE METHODOLOGY

These Design Guidelines were created after comprehensive analysis of the area from multiple aspects, including its history, housing market conditions, housing demand and landscape features, combined with the future vision for Sapphire.

The essential design components as set out by the guidelines include:

- Architectural character
- Built form (consistent and harmonious streetscapes)
- Façade appearance (attractive pedestrian experience)
- Roofs (ensure consistent streetscapes with regards to colour, materials and styles)
- Landscape and fence design to strengthen the relationship between private land and public domain
- High-quality materials and appropriate colours to provide a pleasant visual expression



1.3 THE STEPS

All residential development design including dwelling design, fencing, landscaping, retaining walls and outbuildings must be submitted to Avantaus for approval before applying for a statutory building permit/approval for construction of the residential dwellings from Blacktown Council or private certifier.

The submitted plans will be assessed to ensure compliance with the Design Guidelines. Once the design is approved by Avantaus, the application can proceed towards the statutory consent. If the design does not comply with the provisions of the guidelines, the plans will be returned to the applicant and amendments will be required. The amended plans will need to be resubmitted to gain approval from Avantaus.

These Design Guidelines supplement the below mentioned controls and apply to all lots within Sapphire Rouse Hill:

- Development Application:
 - Blacktown Local Environmental Plan 2015 (BLEP) or
 - the State Environmental Planning Policy (Sydney Region Growth Centres) 2006
 - and applicable Development Control Plans (DCPs)
- Complying Development Certificate (CDC)
 - Applicable parts within the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008

Please note that the approval from Avantaus cannot replace the statutory building approval issued by consent authorities, nor is Avantaus liable for any costs or claims associated with approving plans.

1.4 THE PROCEDURE

Step 1:

Owner/designer/builder reviews the relevant development standards (Council's DCP or Complying Development Controls), the Sapphire Design Guidelines and Section 88B covenants.

Step 2:

Submit the Design Application Form and the design documents to Avantaus at **admin@avantaus.com.au** in accordance with the required documents within the Design Checklist. Please find the Design Checklist and Design Application Form at the end of this document.

Step 3:

Avantaus assesses the package and provides design approval subject to compliance with Sapphire Design Guidelines.

Step 4:

Submission of your design package to the relevant consent authority for formal approval.



PART 2 - BUILT FORM DESIGN REQUIREMENTS

2.1 SITE LAYOUT

- The dwelling design needs to follow relevant statutory and planning requirements to ensure sufficient boundary setbacks.
- Minimum 16sqm Principal Private Open Space (PPOS) is required for each dwelling to provide a high level of residential amenity with outdoor recreation and relaxation opportunities.
- The site and design dwellings should achieve visual and acoustic privacy while minimising the potential visual and acoustic impacts to the development of adjoining properties.
- The minimum ground-floor area should not be less than 100sqm.

2.2 BUILDING ARTICULATION

2.2.1 Building Heights

- Double-storey dwellings generally have a larger scale than single-storey dwellings, with more potential to achieve attractive streetscape outcomes. Therefore, all the proposed dwellings at Sapphire must be double-storey in height, achieving an iconic look and feel. Single-storey dwellings are not permitted.
- A minimum ceiling height of 2700mm is required for both ground floor and first floor. A ceiling height of 3000mm for the ground floor is encouraged.

2.2.2 Façades

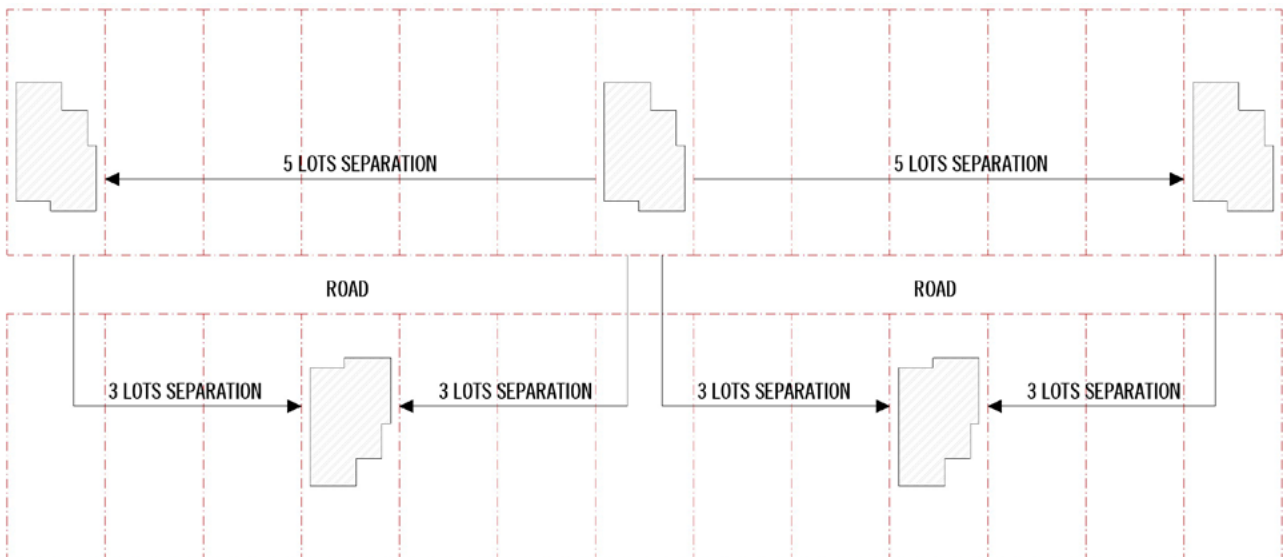
Façade Requirements

- Innovative, contemporary and quality designs are encouraged to enhance the built form and character, contributing to appealing streetscapes.
- It is recommended to use a variety of materials and colours on the front façade to avoid a plain elevation.
- A dwelling must not have a similar façade design to another residence within five adjacent lots in both directions on the same side of the street, or within three lots on the immediately opposite side of the street. This is illustrated in the diagram below. An exemption to this requirement can only be obtained through Avantaus.
- Front façades are to feature at least one habitable room with a window facing the street.



2.2.2 Façades (Continued)

- Front façades must incorporate at least three of the following design features:
 - Entry feature of porch
 - Awnings or other features over windows
 - Balcony to any first-floor elements
 - Recessing or projecting architectural elements
 - Open verandah
 - Corner windows or similar features
- Front façades are relative in scale, responding to the lot width and setbacks.





FAÇADE ELEMENTS

i. Doors

- Front entry doors must face the street.
- Front entry door overall width should be no less than 1m. Entry doors with side light are encouraged.

ii. Windows

- All glass of the windows facing the street frontages must be clear glass. Frosted glass is not permitted.
- A minimum of 20% of the home's front façade must be windows.
- Full ceiling height, contemporary style windows are encouraged on the front façade.
- Corner windows are encouraged on the front façade.

iii. Verandah, Porches & Balconies

- A front porch is encouraged.
- Upper-floor front balconies are encouraged.
- Garden beds attached to front balcony or porch are encouraged as these can soften the outlook and improve the living environment.

iv. Garage

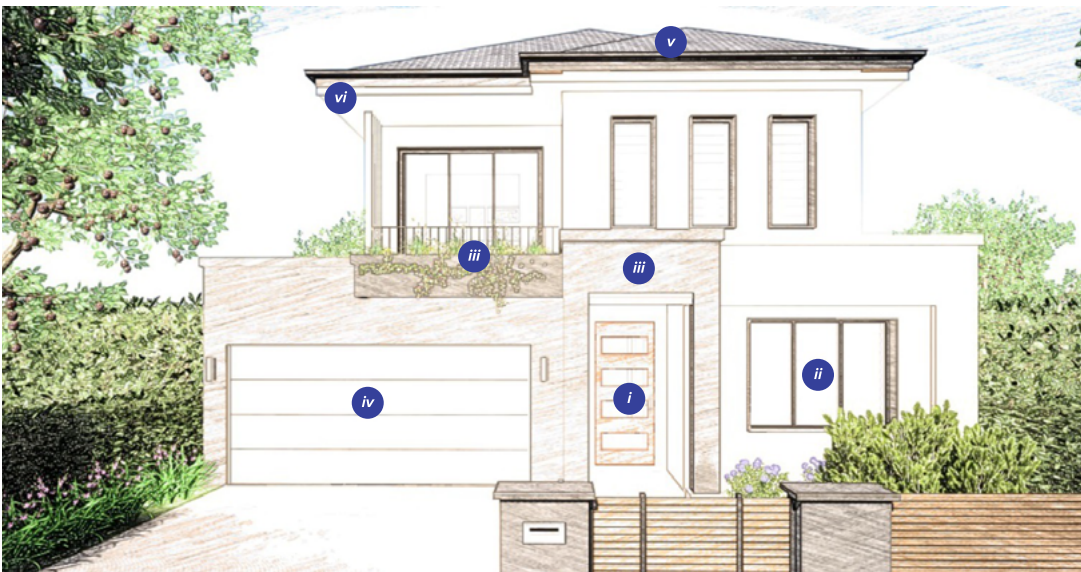
- Carports are not permitted where they are visible from the street.
- Garages are to be set back a minimum of 1m behind the frontage of the dwelling.
- Garages are to be constructed of materials that complement the colour and finishes of the main dwelling.
- Conventional Colorbond roller doors are not permitted.
- The use of glass panels or louvre inserts to the garage doors is encouraged.

v. Roofs

- The pitch of hipped and gable roof forms on the main dwelling should be between 22.5 degrees and 35 degrees. The skillion roof is to be a minimum of 10 degrees. Roofs hidden from street view by parapet walls are excluded.

vi. Eaves

- Except for walls built to the boundary, eaves should have a minimum of 450mm overhang (measured to the fascia board).





2.2.3 Additional Requirements for Corner Lots

Corner lot designs are critical to the whole development as they have solid visual dominance from two street frontages and can strengthen the appearance of the street intersection if designed wisely.

In addition to the elements identified in section 2.2.2, the following elements also need to be incorporated into the design of corner lots:

- Both primary and secondary street façades need to be well articulated to avoid blank façade design.
- At least one habitable room window to face the secondary street.
- Necessary indentation on the secondary street façade to avoid a long plain wall.
- Appealing secondary street façades can be achieved by the use of the following articulation elements:
 - Secondary street entry feature or portico
 - Awnings or other features over windows
 - Balcony, verandah or pergola that wraps around the corner
 - Recessing or projecting architectural elements
 - Open verandah
 - Corner windows or similar features
- Landscaping in the front setback on the main street frontage should also continue around into the secondary setback.





2.2.4 Colours, Finishes & Materials

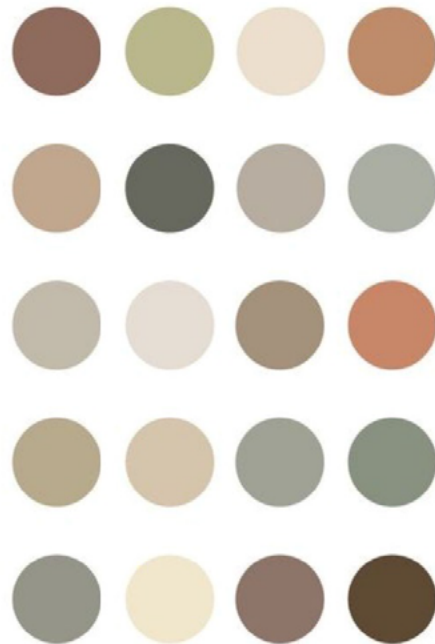
The appropriate use of colours and materials to the front façade will contribute to unified and appealing streetscapes, while encouraging individual design outcomes.

- A minimum of at least three different materials is to be used to the external façade of the dwelling.
- A minimum of 50% masonry materials must be incorporated into the front façade, up to a maximum of 75%.
- Face brick area on the front elevation must not be more than 50%.
- Where face bricks are used on the elevation, textured bricks are not permitted.

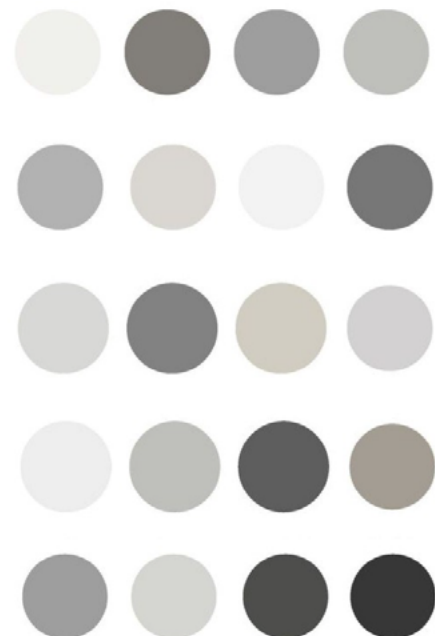


- A combination of different feature materials is encouraged, such as:
 - Feature stone
 - Feature posts/louvres
 - Glass façade features
 - Composite materials
 - Feature panels
 - Feature mouldings and reveals
- Paint and render colours should be in line with the preferred colour palette as illustrated. Earthy, neutral and grey colours are preferred throughout the development. Where the façade is solely finished with a render and paint colour, a minimum of two colours should be applied to the front façade.
- Gutter, fascia and downpipe colours should be integrated with external wall colours.

Preferred Colour Palette



Earth Tones



Grey Tones



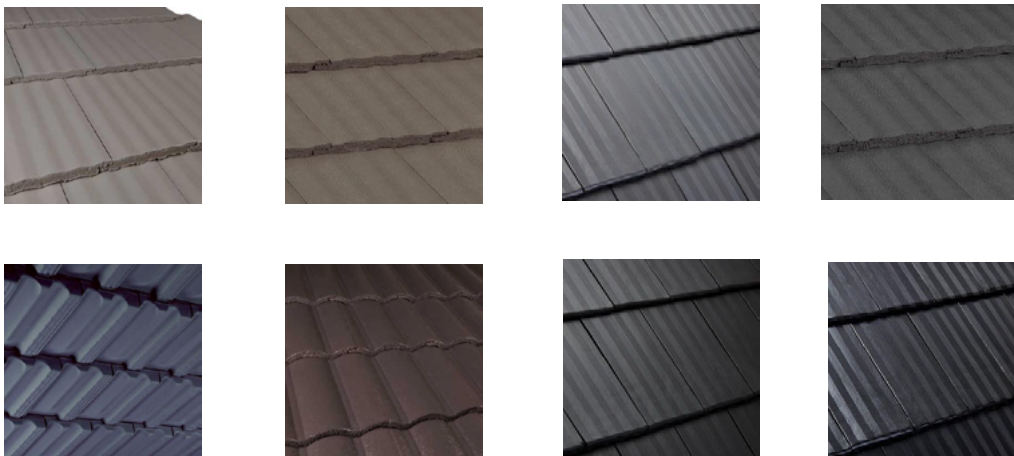
2.2.4 Colours, Finishes & Materials (Continued)

- Roof types must be in the form of one of the following materials:
 - Concrete roof tiles
 - Ceramic roof tiles
 - Terracotta roof tiles
 - Metal sheet roof
- Roof colours are to be selected from the colour ranges shown below.

Metal Sheet Colour Range



Roof Tiles Colour Range





2.3 LANDSCAPE DESIGN

2.3.1 Driveway Design

- Only one driveway is permitted per lot.
- Driveways are to be constructed with coloured, stenciled or stamped concrete, or clay pavers on a concrete sub-base.
- Driveways must be set back a minimum of 300mm from the closest side boundary to accommodate a landscape strip.
- The minimum driveway width at the property boundary is 3m. The maximum driveway width at the property boundary is 4m.
- Driveway crossovers (between the kerb and property front boundary) to be constructed of plain, broom finish concrete to match footpaths.

Preferred Driveway Material



Clay Pavers



Colours Concrete



Stamped Concrete

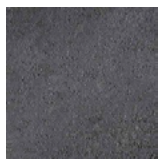
Preferred Driveway Colour Range



Coconut



Blue Steel



Moonlight



Charcoal



Indian Ink



Lime Wash



Stone



Latte



Mushroom



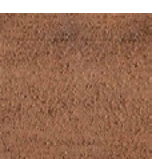
Cacao



Cafe



Straw



Toffee



Orange Cream



Tuscan Clay



2.3.2 Fencing Design

Front Fencing

Front fencing will play a significant role in keeping a consistent neighbourhood character throughout the streets of Sapphire. To achieve this, these Design Guidelines set out the general guidance for the front fencing which is a requirement for all lots.

Standard Lots

Standard lot means a lot that is not a battle-axe lot, a corner lot or a parallel road lot.

- The design of the front fencing should contribute to the positive streetscape.
- The design of the front fencing must match the character of the main dwelling.
- Front fencing wall height should be no more than 1m.
- A garden bed of low planting in front of the front fencing is recommended.
- Two types of front fencing are permissible:

Type A: Fully permeable fencing with a maximum height of 1m, e.g. metal blade fencing, treated timber blade fencing.

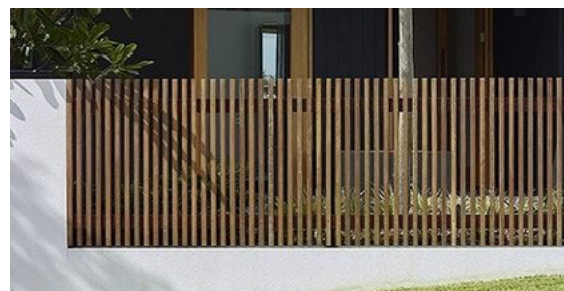
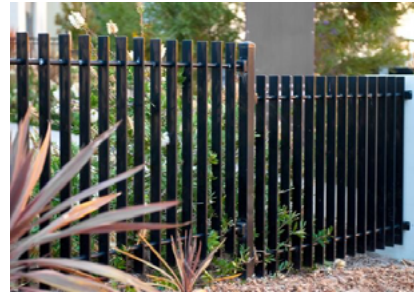
Type B: Permeable fencing installed over solid masonry/stone base (maximum base height 400mm). Total height of fence + base shall not exceed 1m.

Where piers are applied the pier height shall not exceed 1.2m.

Side & Rear Fencing

- Side and rear fencing is to be a maximum of 1.8m high.
- Side and rear fencing is to be of a treated timber lapped and capped type.

Preferred Front Fencing Style





Additional Requirement for Corner Lots

Corner lot means a lot that has two contiguous boundaries with a road or roads (other than a lane).

- The front fencing style and height is to be continued along the secondary street to at least 4m behind the primary street building line of the dwelling.

2.3.3 Letterboxes and House Number

- Letterbox design should be integrated into the front fence including the materials, finishes and colour.
- Letterboxes and house numbers should be clearly visible from the street.
- Letterboxes must be located within the lot boundary.
- Letterbox design should comply with Australia Standard AS/NZ 4253:1994. Fencing, letterbox and plants sections to be reviewed and advised by landscape architect.

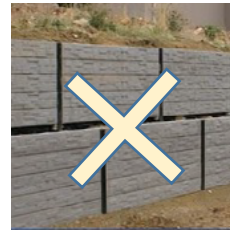
2.3.4 Front Retaining wall

Front retaining wall means the retaining wall located within the front setback which is visible from the street.

- Front retaining wall should be constructed from masonry to match the dwelling.
- Plain concrete block, concrete sleepers and timber sleepers are not permitted.



Plain Concrete Block



Concrete Sleeper



Timber Sleeper



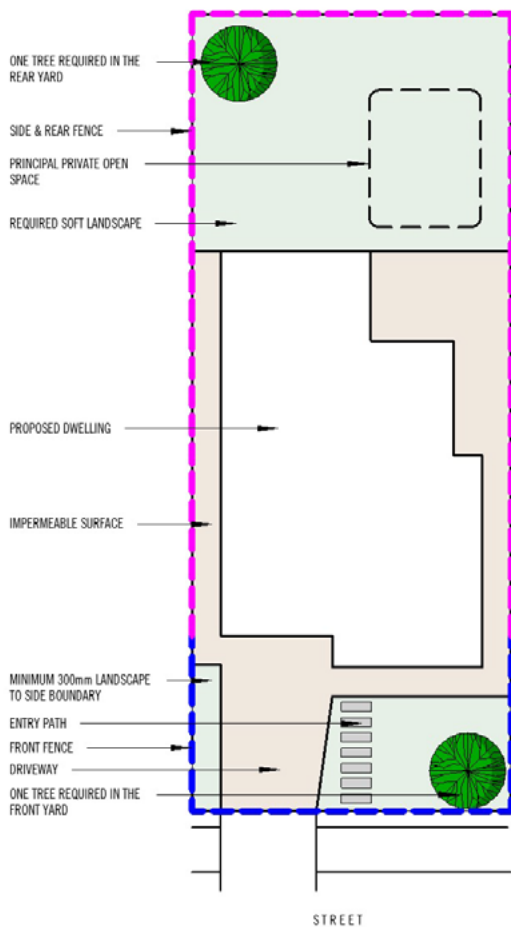
2.3.5 Soft Landscape

The soft landscaping within the front and rear setback will greatly improve the external amenity for future residents and enhance the appealing streetscape.

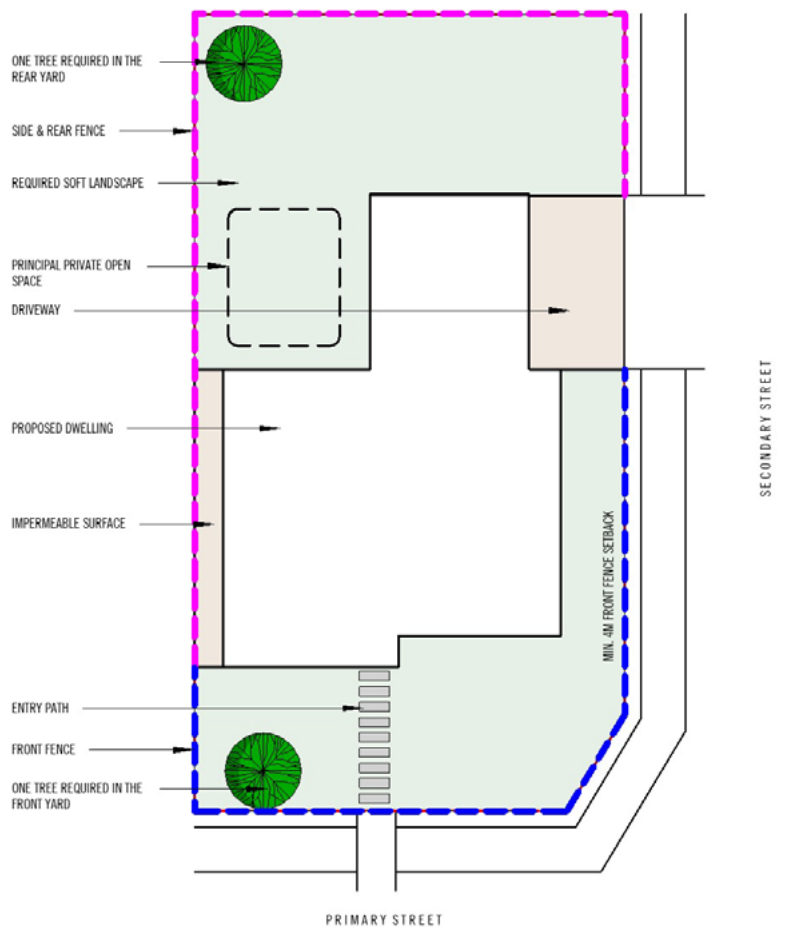
- Must contain one tree in the front courtyard to reach a minimum height of 4-6m at maturity.
- All trees planted to have minimum pot size of 75 litres.
- Consider a combination of native evergreen canopy trees and deciduous sub-storey trees especially for the northerly aspect.
- Consider using a native and drought-tolerant turf variety, e.g. buffalo or approved similar.

- All stepping stones to be located within garden beds with spreading groundcover or graveled areas.
- Consider distance to structures and underground services with tree selection and placement.
- All developer supplied street trees **MUST** be retained. An exemption to this requirement can only be obtained through Avantaus.
- The areas in the front yard not used for driveway and footpath are to be soft landscaped with a combination of turf and garden beds.
- Australian native species are recommended.

Standard Lot



Corner Lot





RECOMMENDED TREE SPECIES LIST

The following table is a list of preferred tree species to be used at Sapphire. The Australian native species identified in tables A.1.1 and A.1.2 are highly recommended. It is not permitted to use any plants which are listed as noxious weeds by NSW WeedWise.

A.1.1 Australian Native Tree Species – Evergreen Trees

| Botanical Name | Common Name | Potential Height in Metres | Comments |
|---------------------------|----------------------|----------------------------|---|
| Buckinghamia callicissima | Ivory Curl Tree | 8 | Excellent feature tree |
| Cupaniopsis anarcardiodes | Tuckeroo | 8 - 15 | Very resistant to drought and pollution, good street tree |
| Flindersia australis | Native Teak Ash | 15 | Low maintenance, Adaptable for most soils |
| Glochidion ferdinandi | Cheese tree | 8 - 12 | Good shade tree, adaptable for most soils |
| Harpulia pendula | Tulip tree | 8 - 15 | Good street and shade tree, non evasive roots |
| Lophostemon confertus | Queensland Brush Box | 15 | Good street tree, useful in urban settings |
| Syncarpia glomulifera | Turpentine | 20 | Good shade tree with dense canopy |
| Syzygium luemannii | Riberry | 8 - 15 | Fast growing, good shade tree |
| Tristaniopsis laurina | Water Gum | 7 - 10 | Small compact tree |
| Waterhousia floribunda | Weeping Lilly Pilly | 8 | Compact tree |

A.1.2 Australian Native Tree Species – Deciduous Trees

| Botanical Name | Common Name | Potential Height in Metres | Comments |
|----------------------|----------------------|----------------------------|---|
| Brachyton acerifolia | Illawarra Flame Tree | 15 - 20 | Proven street tree |
| Brachyton discolor | Lacebark | 8 - 12 | Proven street tree, reliable |
| Brachyton populneus | Kurrajong | 15 | Excellent amenity tree |
| Stenocarpus sinuatus | Firewheel Tree | 9 | Excellent feature tree, adaptable to most soils |

Table Source: Blacktown Development Control Plan 2015



PART 3 - APPLICATION FORM AND DESIGN CHECKLISTS

SAPPHIRE BUILDING DESIGN REVIEW - APPLICATION FORM

Please complete this form and checklist, attach your required plans and any additional documents, and email to **admin@avantaus.com.au**

Please include 'Design Review Application' and your Lot number in the subject line of your email.

APPLICATION DETAILS

Lot Number: _____

Date of Settlement: _____

Owner First Name and Surname: _____

Current Postal Address: _____

Contact Number: _____ Email: _____

Builder Name: _____ License No: _____

Builder Address: _____

Contact Number: _____ Email: _____

Signature: _____ Date: _____

DESIGN ENDORSEMENT CHECKLIST

Documents to be submitted to the **admin@avantaus.com.au** in PDF format. All drawings are to show north point.

- 1. Scale 1:200 site plan
- 2. Scale 1:100 floor plans and elevations
- 3. Schedule of colours and finishes (rendering picture is preferred) including walls, garage, front door, windows, roof, gutters.
- 4. Scale 1:100 landscape plan illustration showing tree locations, planting schedule for garden beds (species, quantity and pot size), hard surfaces and finishes, retaining wall, front fence treatments, letterbox design.

Disclaimer: The content of the Design Guidelines are intended as guide only and subject to changes from time to time. The Avantaus reserves the rights to waive or vary any content of the Design Guidelines. Any waive or changes will be assessed based on merits for the each application. It is the purchasers/designers' obligation to also read statutory standards and requirements set by council or State policy, the design approval issued by Avantaus is not responsible for any compliance checks for any statutory building permit application. If there is any inconsistency between the subject design guideline and any council or State policy standards, the design standards set by the consent authorities will trump the subject Design Guidelines. Without the consent of Avantaus, any parties cannot disturb, modify or reproduce whole or in part of the subject Design Guidelines due to the copyrights. Any diagrams, photographs used in the guidelines are indicative only, it cannot be used as an guaranteed outcome to make any purchase decision.



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